

**ZONING ANALYSIS**

<b>TAX LOT :</b> 158	<b>ADDRESS:</b> 2085 DALY AVENUE BRONX, NY	<b>DOB # :</b> 200727749
<b>LOT AREA :</b> 2,202 SQFT		

CALCULATIONS					
<b>FLOOR AREA (PROPOSED)</b>					
1ST FLOOR = 1,078 SQ. FT.					
2ND FLOOR = 1,078 SQ. FT.					
3RD FLOOR = 1,078 SQ. FT.					
<b>SUB TOTAL = 3,234 SQ. FT.</b>					
TOTAL = 2,963 SQ. FT.					
<b>COVERAGE = 1,078 SQ. FT.</b>					
<b>OPEN SPACE = 1,124 SQ. FT.</b>					
<b>ITEM 7 - FLOOR AREA RATIO</b>					
FL AREA LOT AREA FAR					
2,963 ÷ 2,202 = 1.34					
<b>ITEM 8 - OPEN SPACE RATIO</b>					
OSR: 1,124 ÷ 2,963x100 = 38.0					
<b>ITEM 9 - DENSITY (MAX DU'S)</b>					
LOT AREA MAX FAR					
2,202 x [3.44]					
<b>= 11 DU'S</b>					
(680) FACTOR					

GENERAL DATA		REQD	PROP	CODE SECT	NOTES
1	MINIMUM LOT SIZE	1,700 S.F.	2,202 S.F.	NYC ZONING RESOLUTION SEC. 23-32	OK
2	MINIMUM LOT WIDTH	18'-0"	20'-3"	NYC ZONING RESOLUTION SEC. 23-32	OK
3	HEIGHT FACTOR	3	OK	NYC ZONING RESOLUTION SEC. 23-10	OK
4	FRONT YARD	N.R.	N.R.	NO REQUIREMENTS	OK
5	SIDE YARDS	0 OR 8'-0"	0	NYC ZONING RESOLUTION SEC. 23-462	SIDE YARDS EXEMPTION W/ IN 100 FEET OF CORNERS - NONE REQUIRED
6	REAR YARDS	MIN 30'-0"	31'-0"	NYC ZONING RESOLUTION SEC. 23-47	OK
7	FLOOR AREA RATIO	MAX 2.01	1.34	REQUIREMENT SEC. 23-142	OK
8	OPEN SPACE RATIO	MIN 16.5	38.0	REQUIREMENT SEC. 23-22	OK
9	DENSITY ( IN DU'S )	MAX 11	3	NYC ZONING RESOLUTION SEC. 23-631	OK
10	HEIGHT & SETBACK	MAX 6	3	NYC ZONING RESOLUTION SEC. 23-631	APPLICABILITY - WHERE FRONT YARDS ARE NOT REQUIRED THEREFORE: NO PARKING SPACES ARE REQUIRED, ONE VOLUNTARY.
11	PARKING REQUIREMENTS	N.R.	1	NYC ZONING RESOLUTION SEC. 25-241 & 25-241	THEREFORE: NO PARKING SPACES ARE REQUIRED, ONE VOLUNTARY.

NOTES	
HEIGHT & SETBACK	MAX HEIGHT OF FRONT WALL ALLOWED IN INITIAL SETBACK DISTANCE = 60'-0" OR SIX (6) STORES WHICHEVER IS LESS ACTUAL BUILDING HEIGHT: 28'-0" AND THREE (3) STORES
PARKING REQUIREMENTS	REQUIREMENT: 30% (FOR LOTS OF 10,000 SQ. FT. OR LESS) WAIVER OF PARKING: UP TO 5 REQUIRED SPACES. ACTUAL: ONE VOLUNTARY SPACE PROVIDED IN GARAGE
LESS GARAGE ( 250 SQ. FT. ) & MECH. (21 SQ. FT.)	

<b>TAX LOT :</b> 157	<b>ADDRESS:</b> 2087 DALY AVENUE BRONX, NY	<b>DOB # :</b> 200727758
<b>LOT AREA :</b> 2,131 SQFT		

CALCULATIONS					
<b>FLOOR AREA (PROPOSED)</b>					
1ST FLOOR = 1,055 SQ. FT.					
2ND FLOOR = 1,055 SQ. FT.					
3RD FLOOR = 1,055 SQ. FT.					
<b>SUB TOTAL = 3,165 SQ. FT.</b>					
TOTAL = 2,894 SQ. FT.					
<b>COVERAGE = 1,055 SQ. FT.</b>					
<b>OPEN SPACE = 1,076 SQ. FT.</b>					
<b>ITEM 7 - FLOOR AREA RATIO</b>					
FL AREA LOT AREA FAR					
2,894 ÷ 2,131 = 1.35					
<b>ITEM 8 - OPEN SPACE RATIO</b>					
OSR: 1,076 ÷ 2,894x100 = 37.1					
<b>ITEM 9 - DENSITY (MAX DU'S)</b>					
LOT AREA MAX FAR					
2,131 x [3.44]					
<b>= 11 DU'S</b>					
(680) FACTOR					

GENERAL DATA		REQD	PROP	CODE SECT	NOTES
1	MINIMUM LOT SIZE	1,700 S.F.	2,131 S.F.	NYC ZONING RESOLUTION SEC. 23-32	OK
2	MINIMUM LOT WIDTH	18'-0"	19'-10"	NYC ZONING RESOLUTION SEC. 23-32	OK
3	HEIGHT FACTOR	3	OK	NYC ZONING RESOLUTION SEC. 12-10	OK
4	FRONT YARD	N.R.	N.R.	NO REQUIREMENTS	OK
5	SIDE YARDS	0 OR 8'-0"	0	NYC ZONING RESOLUTION SEC. 23-462	SIDE YARDS EXEMPTION W/ IN 100 FEET OF CORNERS - NONE REQUIRED
6	REAR YARDS	MIN 30'-0"	31'-0"	NYC ZONING RESOLUTION SEC. 23-47	OK
7	FLOOR AREA RATIO	MAX 2.01	1.35	REQUIREMENT SEC. 23-142	OK
8	OPEN SPACE RATIO	MIN 16.5	37.1	REQUIREMENT SEC. 23-22	OK
9	DENSITY ( IN DU'S )	MAX 11	3	NYC ZONING RESOLUTION SEC. 23-631	OK
10	HEIGHT & SETBACK	MAX 6	3	NYC ZONING RESOLUTION SEC. 23-631	APPLICABILITY - WHERE FRONT YARDS ARE NOT REQUIRED THEREFORE: NO PARKING SPACES ARE REQUIRED, ONE VOLUNTARY.
11	PARKING REQUIREMENTS	N.R.	1	NYC ZONING RESOLUTION SEC. 25-241 & 25-241	THEREFORE: NO PARKING SPACES ARE REQUIRED, ONE VOLUNTARY.

NOTES	
HEIGHT & SETBACK	MAX HEIGHT OF FRONT WALL ALLOWED IN INITIAL SETBACK DISTANCE = 60'-0" OR SIX (6) STORES WHICHEVER IS LESS ACTUAL BUILDING HEIGHT: 28'-0" AND THREE (3) STORES
PARKING REQUIREMENTS	REQUIREMENT: 30% (FOR LOTS OF 10,000 SQ. FT. OR LESS) WAIVER OF PARKING: UP TO 5 REQUIRED SPACES. ACTUAL: ONE VOLUNTARY SPACE PROVIDED IN GARAGE
LESS GARAGE ( 250 SQ. FT. ) & MECH. (21 SQ. FT.)	

<b>TAX LOT :</b> 156	<b>ADDRESS:</b> 2089 DALY AVENUE BRONX, NY	<b>DOB # :</b> 200727767
<b>LOT AREA :</b> 2,098 SQFT		

CALCULATIONS					
<b>FLOOR AREA (PROPOSED)</b>					
1ST FLOOR = 1,050 SQ. FT.					
2ND FLOOR = 1,050 SQ. FT.					
3RD FLOOR = 1,050 SQ. FT.					
<b>SUB TOTAL = 3,150 SQ. FT.</b>					
TOTAL = 2,879 SQ. FT.					
<b>COVERAGE = 1,050 SQ. FT.</b>					
<b>OPEN SPACE = 1,048 SQ. FT.</b>					
<b>ITEM 7 - FLOOR AREA RATIO</b>					
FL AREA LOT AREA FAR					
2,879 ÷ 2,098 = 1.37					
<b>ITEM 8 - OPEN SPACE RATIO</b>					
OSR: 1,048 ÷ 2,879x100 = 36.4					
<b>ITEM 9 - DENSITY (MAX DU'S)</b>					
LOT AREA MAX FAR					
2,098 x [3.44]					
<b>= 11 DU'S</b>					
(680) FACTOR					

GENERAL DATA		REQD	PROP	CODE SECT	NOTES
1	MINIMUM LOT SIZE	1,700 S.F.	2,098 S.F.	NYC ZONING RESOLUTION SEC. 23-32	OK
2	MINIMUM LOT WIDTH	18'-0"	19'-9"	NYC ZONING RESOLUTION SEC. 23-32	OK
3	HEIGHT FACTOR	3	OK	NYC ZONING RESOLUTION SEC. 12-10	OK
4	FRONT YARD	N.R.	N.R.	NO REQUIREMENTS	OK
5	SIDE YARDS	0 OR 8'-0"	0	NYC ZONING RESOLUTION SEC. 23-462	SIDE YARDS EXEMPTION W/ IN 100 FEET OF CORNERS - NONE REQUIRED
6	REAR YARDS	MIN 30'-0"	31'-0"	NYC ZONING RESOLUTION SEC. 23-47	OK
7	FLOOR AREA RATIO	MAX 2.01	1.37	REQUIREMENT SEC. 23-142	OK
8	OPEN SPACE RATIO	MIN 16.5	36.4	REQUIREMENT SEC. 23-22	OK
9	DENSITY ( IN DU'S )	MAX 11	3	NYC ZONING RESOLUTION SEC. 23-631	OK
10	HEIGHT & SETBACK	MAX 6	3	NYC ZONING RESOLUTION SEC. 23-631	APPLICABILITY - WHERE FRONT YARDS ARE NOT REQUIRED THEREFORE: NO PARKING SPACES ARE REQUIRED, ONE VOLUNTARY.
11	PARKING REQUIREMENTS	N.R.	1	NYC ZONING RESOLUTION SEC. 25-241 & 25-241	THEREFORE: NO PARKING SPACES ARE REQUIRED, ONE VOLUNTARY.

NOTES	
HEIGHT & SETBACK	MAX HEIGHT OF FRONT WALL ALLOWED IN INITIAL SETBACK DISTANCE = 60'-0" OR SIX (6) STORES WHICHEVER IS LESS ACTUAL BUILDING HEIGHT: 28'-0" AND THREE (3) STORES
PARKING REQUIREMENTS	REQUIREMENT: 30% (FOR LOTS OF 10,000 SQ. FT. OR LESS) WAIVER OF PARKING: UP TO 5 REQUIRED SPACES. ACTUAL: ONE VOLUNTARY SPACE PROVIDED IN GARAGE
LESS GARAGE ( 250 SQ. FT. ) & MECH. (21 SQ. FT.)	

<b>TAX LOT :</b> 155	<b>ADDRESS:</b> 2091 DALY AVENUE BRONX, NY	<b>DOB # :</b> 200727776
<b>LOT AREA :</b> 2,077 SQFT		

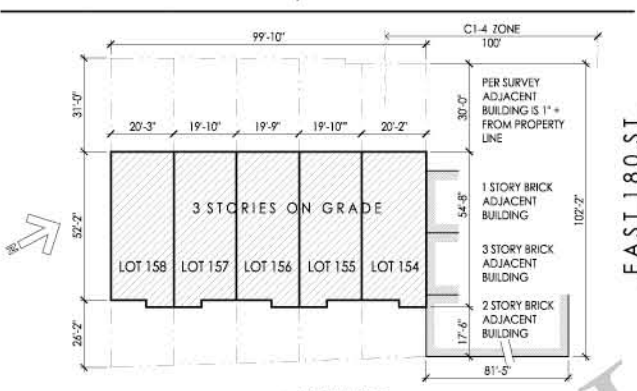
CALCULATIONS					
<b>FLOOR AREA (PROPOSED)</b>					
1ST FLOOR = 1,055 SQ. FT.					
2ND FLOOR = 1,055 SQ. FT.					
3RD FLOOR = 1,055 SQ. FT.					
<b>SUB TOTAL = 3,165 SQ. FT.</b>					
TOTAL = 2,894 SQ. FT.					
<b>COVERAGE = 1,055 SQ. FT.</b>					
<b>OPEN SPACE = 1,022 SQ. FT.</b>					
<b>ITEM 7 - FLOOR AREA RATIO</b>					
FL AREA LOT AREA FAR					
2,894 ÷ 2,077 = 1.39					
<b>ITEM 8 - OPEN SPACE RATIO</b>					
OSR: 1,022 ÷ 2,894x100 = 35.3					
<b>ITEM 9 - DENSITY (MAX DU'S)</b>					
LOT AREA MAX FAR					
2,077 x [3.44]					
<b>= 11 DU'S</b>					
(680) FACTOR					

GENERAL DATA		REQD	PROP	CODE SECT	NOTES
1	MINIMUM LOT SIZE	1,700 S.F.	2,077 S.F.	NYC ZONING RESOLUTION SEC. 23-32	OK
2	MINIMUM LOT WIDTH	18'-0"	19'-10"	NYC ZONING RESOLUTION SEC. 23-32	OK
3	HEIGHT FACTOR	3	OK	NYC ZONING RESOLUTION SEC. 12-10	OK
4	FRONT YARD	N.R.	N.R.	NO REQUIREMENTS	OK
5	SIDE YARDS	0 OR 8'-0"	0	NYC ZONING RESOLUTION SEC. 23-462	SIDE YARDS EXEMPTION W/ IN 100 FEET OF CORNERS - NONE REQUIRED
6	REAR YARDS	MIN 30'-0"	30'-0"	NYC ZONING RESOLUTION SEC. 23-47	OK
7	FLOOR AREA RATIO	MAX 2.01	1.39	REQUIREMENT SEC. 23-142	OK
8	OPEN SPACE RATIO	MIN 16.5	35.3	REQUIREMENT SEC. 23-22	OK
9	DENSITY ( IN DU'S )	MAX 11	3	NYC ZONING RESOLUTION SEC. 23-631	OK
10	HEIGHT & SETBACK	MAX 6	3	NYC ZONING RESOLUTION SEC. 23-631	APPLICABILITY - WHERE FRONT YARDS ARE NOT REQUIRED THEREFORE: NO PARKING SPACES ARE REQUIRED, ONE VOLUNTARY.
11	PARKING REQUIREMENTS	N.R.	1	NYC ZONING RESOLUTION SEC. 25-241 & 25-241	THEREFORE: NO PARKING SPACES ARE REQUIRED, ONE VOLUNTARY.

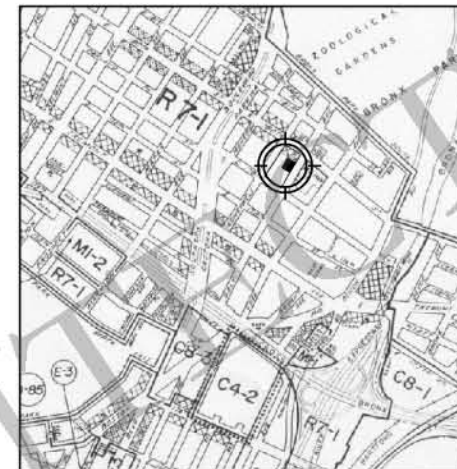
NOTES	
HEIGHT & SETBACK	MAX HEIGHT OF FRONT WALL ALLOWED IN INITIAL SETBACK DISTANCE = 60'-0" OR SIX (6) STORES WHICHEVER IS LESS ACTUAL BUILDING HEIGHT: 28'-0" AND THREE (3) STORES
PARKING REQUIREMENTS	REQUIREMENT: 30% (FOR LOTS OF 10,000 SQ. FT. OR LESS) WAIVER OF PARKING: UP TO 5 REQUIRED SPACES. ACTUAL: ONE VOLUNTARY SPACE PROVIDED IN GARAGE
LESS GARAGE ( 250 SQ. FT. ) & MECH. (21 SQ. FT.)	

COMMUNITY BD : 6  
ZONING DISTRICT : R7-1  
TAX BLOCK : 3122  
CONST. CLASS : II-B

EXISTING USE : VACANT LAND  
PROPOSED USE : RESIDENTIAL  
3 FAMILY ( USE GROUP 2 )  
C OF O: NONE



PLOT PLAN NOT TO SCALE



ZONING MAP 3D

**LIST OF DRAWINGS**

**ARCHITECTURAL**

- 1.A-1 TITLE SHEET
- 1.S-1 SURVEY PLAN
- 1.B-1 BORING PLAN
- 1.SD-1 SEWER CONNECTION
- 1.A-2 SITE PLAN
- 1.A-2.1 SITE PLAN DEEP FRONT YARD
- 1.A-3 FOUNDATION PLAN
- 1.A-4 1st FLOOR PLAN
- 1.A-5 2nd FLOOR PLAN
- 1.A-6 3rd FLOOR PLAN
- 1.A-7 ROOF PLAN
- 1.A-8 FRONT ELEVATION
- 1.A-9 REAR ELEVATION
- 1.A-10 SIDE ELEVATION

**MECHANICAL**

- 1.M-1 1ST FLOOR MECHANICAL PLAN
- 1.M-2 2ND FLOOR MECHANICAL PLAN
- 1.M-3 3RD FLOOR MECHANICAL PLAN
- 1.M-4 ROOF MECHANICAL PLAN
- 1.M-5 MECHANICAL RISER DIAGRAMS

**ELECTRICAL**

- 1.E-1 1ST FLOOR ELECTRICAL PLAN
- 1.E-2 2ND FLOOR ELECTRICAL PLAN
- 1.E-3 3RD FLOOR ELECTRICAL PLAN
- 1.E-4 ELECTRICAL DIAGRAMS, NOTES & SCHEDULES

**PLUMBING**

- 1.P-1 1ST FLOOR PLUMBING PLAN
- 1.P-2 2ND FLOOR PLUMBING PLAN
- 1.P-3 3RD FLOOR PLUMBING PLAN
- 1.P-4 ROOF PLUMBING PLAN
- 1.P-5 RISER DIAGRAM, DETAILS, NOTES & SCHEDULES

**DETAILS**

RETEXT/REPLACE/REMOVE error

<b>TAX LOT :</b> 154	<b>ADDRESS:</b> 2093 DALY AVENUE BRONX, NY	<b>DOB # :</b> 200727785
<b>LOT AREA :</b> 2,063 SQFT		

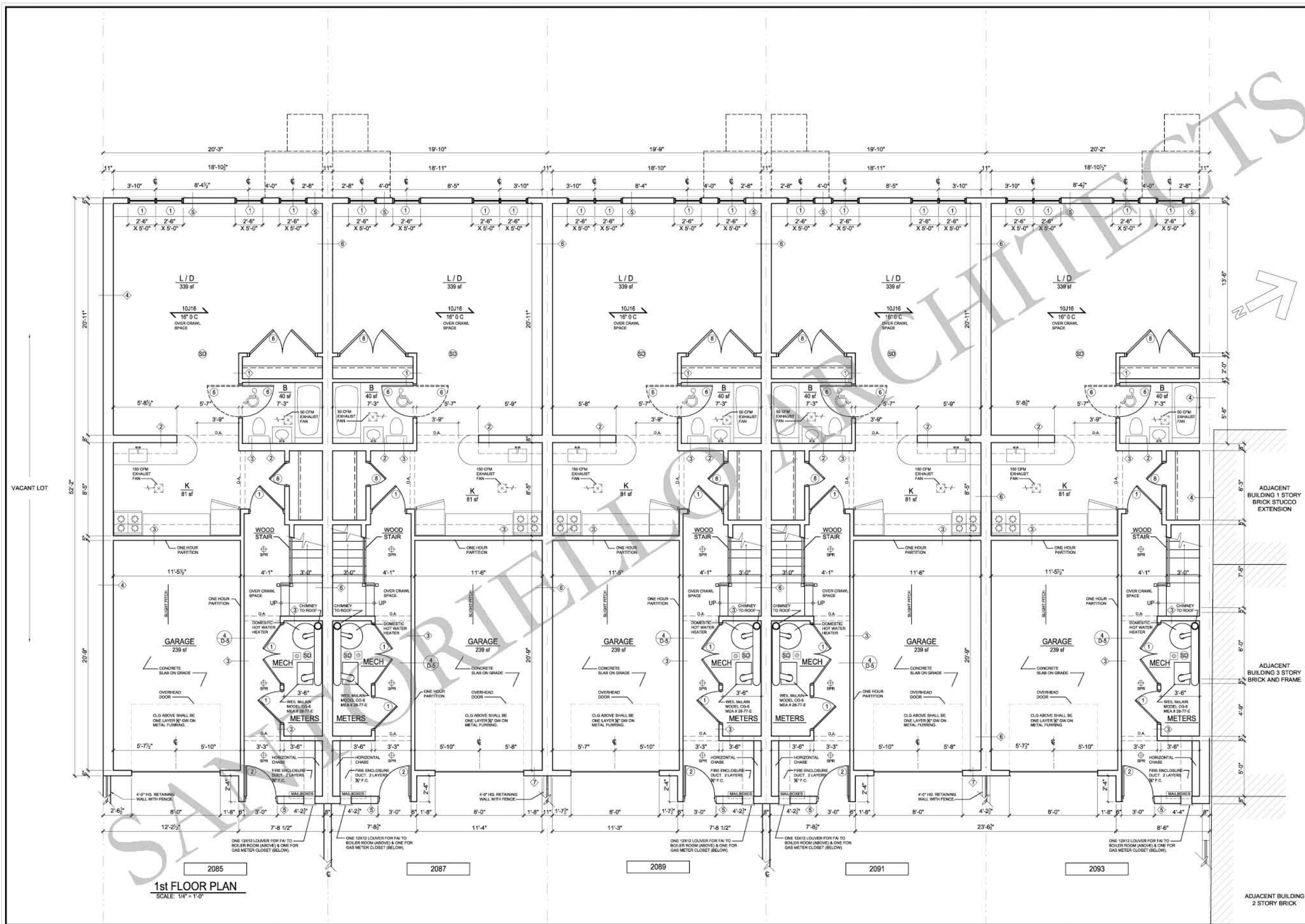
CALCULATIONS					
<b>FLOOR AREA (PROPOSED)</b>					
1ST FLOOR = 1,078 SQ. FT.					
2ND FLOOR = 1,078 SQ. FT.					
3RD FLOOR = 1,078 SQ. FT.					
<b>SUB TOTAL = 3,234 SQ. FT.</b>					
TOTAL = 2,963 SQ. FT.					
<b>COVERAGE = 1,078 SQ. FT.</b>					
<b>OPEN SPACE = 985 SQ. FT.</b>					
<b>ITEM 7 - FLOOR AREA RATIO</b>					
FL AREA LOT AREA FAR					
2,963 ÷ 2,063 = 1.43					
<b>ITEM 8 - OPEN SPACE RATIO</b>					
OSR: 985 ÷ 2,963x100 = 33.2					
<b>ITEM 9 - DENSITY (MAX DU'S)</b>					
LOT AREA MAX FAR					
2,063 x [3.44]					
<b>= 10 DU'S</b>					
(680) FACTOR					

GENERAL DATA		REQD	PROP	CODE SECT	NOTES
1	MINIMUM LOT SIZE	1,700 S.F.	2,063 S.F.	NYC ZONING RESOLUTION SEC. 23-32	OK
2	MINIMUM LOT WIDTH	18'-0"	20'-3"	NYC ZONING RESOLUTION SEC. 23-32	OK
3	HEIGHT FACTOR	3	OK	NYC ZONING RESOLUTION SEC. 12-10	OK
4	FRONT YARD	N.R.	N.R.	NO REQUIREMENTS	OK
5	SIDE YARDS	0 OR 8'-0"	0	NYC ZONING RESOLUTION SEC. 23-462	SIDE YARDS EXEMPTION W/ IN 100 FEET OF CORNERS - NONE REQUIRED
6	REAR YARDS	MIN 30'-0"	30'-0"	NYC ZONING RESOLUTION SEC. 23-47	OK
7	FLOOR AREA RATIO	MAX 2.01	1.43	REQUIREMENT SEC. 23-142	OK
8	OPEN SPACE RATIO	MIN 16.5	33.2	REQUIREMENT SEC. 23-22	OK
9	DENSITY ( IN DU'S )	MAX 10	3	NYC ZONING RESOLUTION SEC. 23-631	OK
10	HEIGHT & SETBACK	MAX 6	3	NYC ZONING RESOLUTION SEC. 23-631	APPLICABILITY - WHERE FRONT YARDS ARE NOT REQUIRED THEREFORE: NO PARKING SPACES ARE REQUIRED, ONE VOLUNTARY.
11	PARKING REQUIREMENTS	N.R.	1	NYC ZONING RESOLUTION SEC. 25-241 & 25-241	THEREFORE: NO PARKING SPACES ARE REQUIRED, ONE VOLUNTARY.

NOTES	
HEIGHT & SETBACK	MAX HEIGHT OF FRONT WALL ALLOWED IN INITIAL SETBACK DISTANCE = 60'-0" OR SIX (6) STORES WHICHEVER IS LESS ACTUAL BUILDING HEIGHT: 28'-0" AND THREE (3) STORES
PARKING REQUIREMENTS	REQUIREMENT: 30% (FOR LOTS OF 10,000 SQ. FT. OR LESS) WAIVER OF PARKING: UP TO 5 REQUIRED SPACES. ACTUAL: ONE VOLUNTARY SPACE PROVIDED IN GARAGE
LESS GARAGE ( 250 SQ. FT. ) & MECH. (21 SQ. FT.)	

**NEW FOUNDATIONS PROGRAM**

2085 DALY AVENUE  
2087 DALY AVENUE  
2089 DALY AVENUE  
2091 DALY AVEN



2085  
1st FLOOR PLAN  
SCALE: 1/4" = 1'-0"

2087

2089

2091

2093

**NEW FOUNDATIONS PROGRAM**

2085 DALY AVENUE  
2087 DALY AVENUE  
2089 DALY AVENUE  
2091 DALY AVENUE  
2093 DALY AVENUE

**SITE #1  
DALY AVE  
BRONX, NY**

**MECHANICAL ENGINEER**  
ABRAHAM JOSELOW P.E., P.C.  
45 W 34 STREET, NEW YORK, NY 10001

**STRUCTURAL ENGINEER**  
STEVE KAPLAN, P.E.  
4 HORIZON ROAD, FORT LEE, NJ 07024

**OWNER**  
SBM HOME BUILDERS L.L.C.  
520 OLD COUNTRY ROAD  
HICKSVILLE, NY 11801

**SANTORIELLO+GROOM  
ARCHITECTS**

422 85th STREET  
BROOKLYN, NY 11209  
TEL: 718-238-9577 FAX: 718-238-9625  
ARCHITECTS@NYC.AG.COM

**GENERAL NOTE:**  
DO NOT MEASURE THESE DRAWINGS UNLESS OTHERWISE SPECIFIED.  
USE ANNOTATED DIMENSIONS ONLY.  
VERIFY ALL DIMENSIONS IN FIELD (V.I.F.).  
IN CASE OF VARIANCES OR DISCREPANCIES NOTIFY ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF THE WORK.

**REVISIONS:**

NO.	DATE	DESCRIPTION
5/17/04	DOB	
8/28/07	BIDERS	
4/22/03	G.C.	
9/11/02	DOB, G.C.	
7/22/02	DOB	
6/14/02	G.C.	
5/28/02	PARTNERS	
4/16/02	DOB, PARTNERS	
4/04/02	HPD, PARTNERS	

**ISSUE:**

DRAWN BY: SCALE: AS NOTED  
PROJECT No.: DATE: FEB 13, 2001

SHEET NAME:  
**1st FLOOR PLANS**

SHEET No.  
**1.A-4**

ADJACENT BUILDING 1 STORY BRICK STUCCO EXTENSION

ADJACENT BUILDING 3 STORY BRICK AND FRAME

ADJACENT BUILDING 2 STORY BRICK

NEW FOUNDATIONS PROGRAM

2085 DALY AVENUE  
2087 DALY AVENUE  
2089 DALY AVENUE  
2091 DALY AVENUE  
2093 DALY AVENUE

SITE #1  
DALY AVE  
BRONX, NY

MECHANICAL ENGINEER  
ABRAHAM JOSELOW P.E., P.C.  
45 W 34 STREET, NEW YORK, NY 10001

STRUCTURAL ENGINEER  
STEVE KAPLAN, P.E.  
4 HORIZON ROAD, FORT LEE, NJ 07024

OWNER  
SBM HOME BUILDERS L.L.C.  
520 OLD COUNTRY ROAD  
HICKSVILLE, NY 11801

SANTORIELLO+GROOM  
ARCHITECTS

422 85th STREET  
BROOKLYN, NY 11209  
TEL: 718-238-8617 FAX: 718-238-8625  
ARCHITECTS@NYC.ARC.COM

**GENERAL NOTE:**  
DO NOT MEASURE THESE DRAWINGS UNLESS OTHERWISE SPECIFIED.  
USE ANNOTATED DIMENSIONS ONLY.  
VERIFY ALL DIMENSIONS IN FIELD (V.I.F.).  
IN CASE OF VARIANCES OR DISCREPANCIES NOTIFY ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF THE WORK.

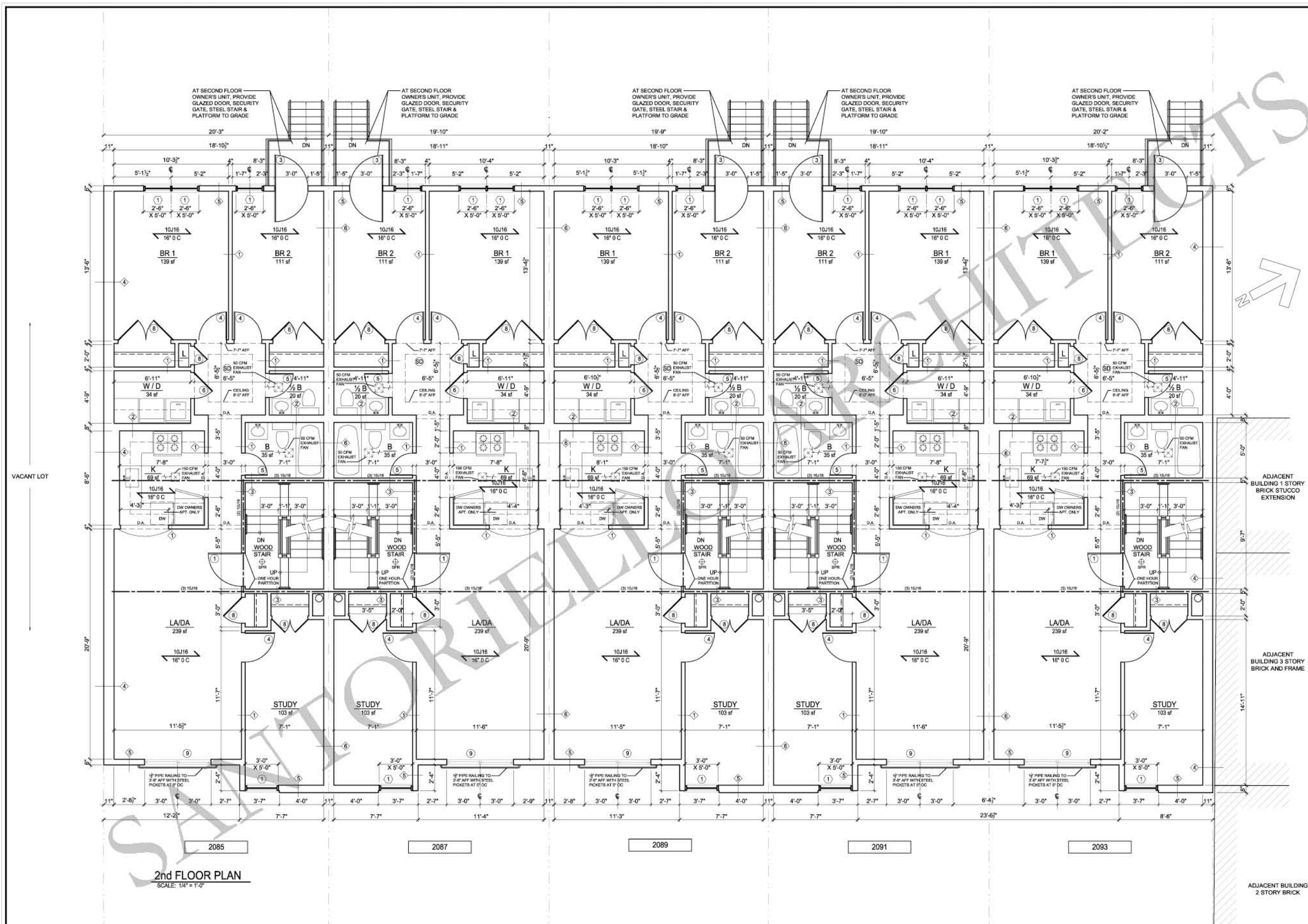
REVISIONS:

DATE	DESCRIPTION
5/17/04	DOB
8/28/07	BIDDERS
4/22/03	G.C.
9/11/02	DOB, G.C.
7/22/02	DOB
6/14/02	G.C.
5/28/02	PARTNERS
4/16/02	DOB, PARTNERS
4/04/02	HPD, PARTNERS

DRAWN BY: SCALE: AS NOTED  
PROJECT No.: DATE: FEB 13, 2001

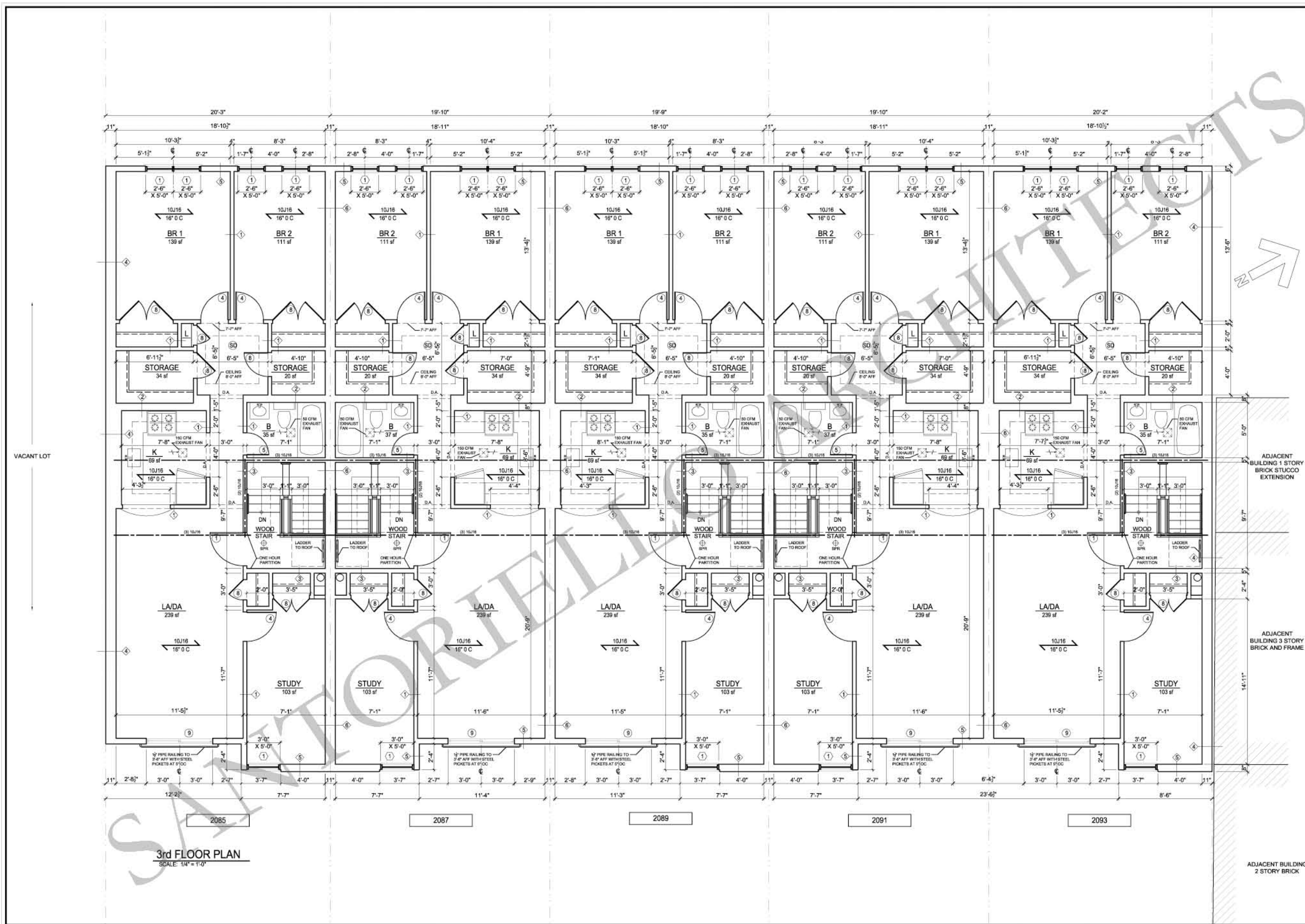
SHEET NAME:  
2nd FLOOR PLANS

SHEET No.  
**1.A-5**



2085  
**2nd FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

ADJACENT BUILDING 1 STORY BRICK STUCCO EXTENSION  
ADJACENT BUILDING 3 STORY BRICK AND FRAME  
ADJACENT BUILDING 2 STORY BRICK



3rd FLOOR PLAN  
SCALE: 1/4"=1'-0"

**NEW FOUNDATIONS PROGRAM**

2085 DALY AVENUE  
2087 DALY AVENUE  
2089 DALY AVENUE  
2091 DALY AVENUE  
2093 DALY AVENUE

**SITE #1  
DALY AVE  
BRONX, NY**

**MECHANICAL ENGINEER**  
ABRAHAM JOSELOW P.E., P.C.  
45 W 34 STREET, NEW YORK, NY 10001

**STRUCTURAL ENGINEER**  
STEVE KAPLAN, P.E.  
4 HORIZON ROAD, FORT LEE, NJ 07024

**OWNER**  
SBM HOME BUILDERS L.L.C.  
520 OLD COUNTRY ROAD  
HICKSVILLE, NY 11801

**SANTORIELLO+GROOM  
ARCHITECTS**

422 85th STREET  
BROOKLYN, NY 11209  
TEL: 718-238-9677 FAX: 718-238-9625  
ARCHITECTS@NYC.ARG.COM

**GENERAL NOTE:**  
DO NOT MEASURE THESE DRAWINGS UNLESS OTHERWISE SPECIFIED.  
USE ANNOTATED DIMENSIONS ONLY.  
VERIFY ALL DIMENSIONS IN FIELD (V.I.F.).  
IN CASE OF VARIANCES OR DISCREPANCIES NOTIFY ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF THE WORK.

**REVISIONS:**

NO.	DATE	DESCRIPTION
5/17/04	DOB	
8/28/07	BIDDERS	
4/22/03	G.C.	
9/12/02	DOB, G.C.	
7/22/02	DOB	
6/14/02	G.C.	
5/28/02	PARTNERS	
4/16/02	DOB, PARTNERS	
4/04/02	HPD, PARTNERS	

**ISSUE:**

DRAWN BY: SCALE: AS NOTED  
PROJECT No.: DATE: FEB 13, 2001

SHEET NAME:  
**3RD FLOOR PLANS**

SHEET No.  
**1.A-6**

NEW FOUNDATIONS PROGRAM

2085 DALY AVENUE  
2087 DALY AVENUE  
2089 DALY AVENUE  
2091 DALY AVENUE  
2093 DALY AVENUE

SITE #1  
DALY AVE  
BRONX, NY

MECHANICAL ENGINEER  
ABRAHAM JOSELOW P.E., P.C.  
45 W 34 STREET, NEW YORK, NY 10001

STRUCTURAL ENGINEER  
STEVE KAPLAN, P.E.  
4 HORIZON ROAD, FORT LEE, NJ 07024

OWNER  
SBM HOME BUILDERS L.L.C.  
520 OLD COUNTRY ROAD  
HICKSVILLE, NY 11801

SANTORIELLO+GROOM ARCHITECTS

422 85th STREET  
BROOKLYN, NY 11209  
TEL: 718-238-6517 FAX: 718-238-6525  
ARCHITECTS@NYC.ARG.COM

GENERAL NOTE:  
DO NOT MEASURE THESE DRAWINGS UNLESS OTHERWISE SPECIFIED.  
USE ANNOTATED DIMENSIONS IN FIELD (V.I.F.).  
VERIFY ALL DIMENSIONS IN FIELD (V.I.F.).  
IN CASE OF VARIANCES OR DISCREPANCIES NOTIFY ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF THE WORK.

REVISIONS:

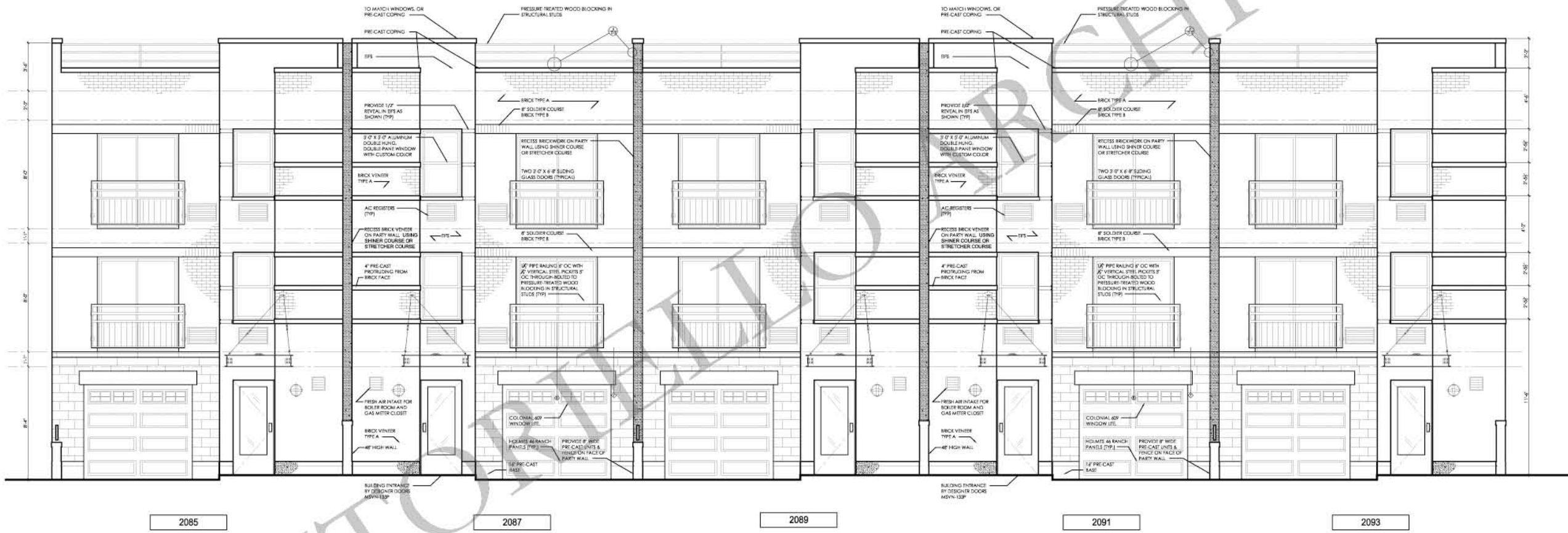
DATE	DESCRIPTION
2/28/07	BIDDERS
4/22/03	G.C.
9/12/02	DOB, G.C.
7/22/02	DOB
6/14/02	G.C.
5/28/02	PARTNERS
4/16/02	DOB, PARTNERS
4/04/02	HPD, PARTNERS

ISSUE:

DRAWN BY: SCALE: AS NOTED  
PROJECT No.: DATE: FEB 13, 2001

SHEET NAME:  
FRONT ELEVATIONS

SHEET No.  
**1.A-8**



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

SANTORIELLO+GROOM ARCHITECTS