

1491 MONTGOMERY AVE. BRONX, NY

OWNER: MONTMAC DEVELOPER LP
2001 UNIVERSITY AVENUE
BRONX, NY 10453

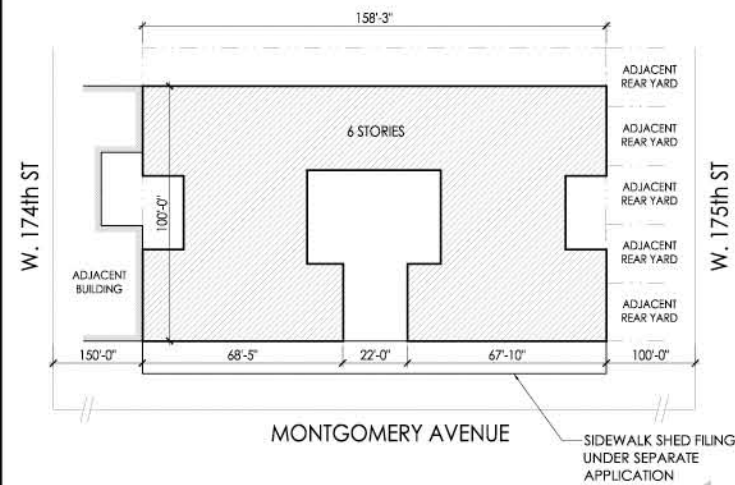
CO-AGENCY NEW YORK CITY HOUSING AUTHORITY
250 BROADWAY
NEW YORK, NY 10007

CO-AGENCY: NEW YORK CITY DEPARTMENT OF HOUSING
PRESERVATION AND DEVELOPMENT
100 GOLD STREET
NEW YORK, NY 10034

LENDER: BANCO POPULAR N. A.
120 BROADWAY 16th FLOOR
NEW YORK, NY 10271

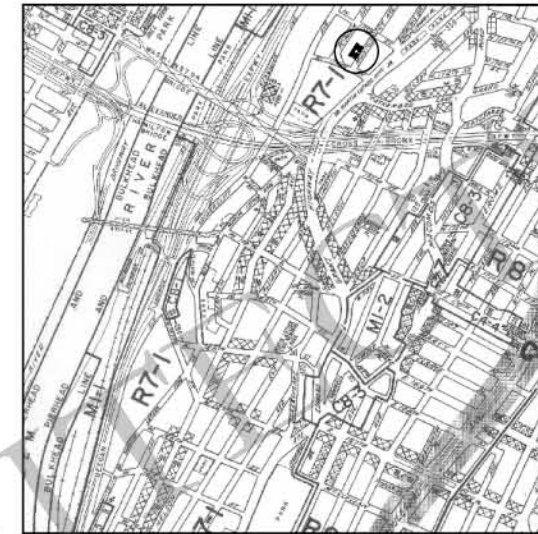
PARTICIPANT: ENTERPRISE SOCIAL INVESTMENT CORP.
80 FIFTH AVENUE
NEW YORK, NY 10011

ARCHITECT: SANTORIELLO + GROOM ARCHITECTS
422 85th STREET
BROOKLYN, NY 11209
718-238-4617



PLOT PLAN

NOT TO SCALE



ZONING MAP 3B

NOT TO SCALE

ZONING INFORMATION

COMMUNITY DISTRICT:	5	TAX BLOCK:	2877
ZONING DISTRICT:	R7-1	TAX LOT:	233
OCCUPANCY GROUP:	RES	USE GROUPS:	2
CONSTRUCTION CLASS:	III		

NO CHANGE TO OCCUPANCY, USE OR EGRESS

CONTROLLED INSPECTIONS

FIRESTOPPING
MECHANICAL VENTILATION
STRUCTURAL INTEGRITY & STABILITY
SPRAY ON FIREPROOFING

SCOPE OF WORK

THE OVERALL SCOPE INCLUDES RENOVATION OF THE BATHROOMS & KITCHENS, COSMETIC WORK AT BALANCE OF APARTMENTS, PLUMBING, HEATING & ELECTRICAL UPGRADES, RESTORATION OF THE BUILDING ENVELOPE & NO CHANGE TO EXISTING LAYOUTS.

LIST OF DRAWINGS

ARCHITECTURAL

- A-1 TITLE SHEET
- A-2 1st FLOOR PLAN
- A-2.1 BOILER ROOM PLAN & PIPING SCHEMATIC
- A-2.2 GAS RISER DIAGRAM & DETAILS
- A-3 2nd FLOOR PLAN
- A-4 TYPICAL FLOOR (3rd Thru 6th) PLAN
- A-5 ROOF PLAN
- A-6 FRONT & REAR ELEVATIONS (EAST & WEST)
- A-7 SIDE ELEVATIONS (NORTH & SOUTH)
- A-8 COURT YARD ELEVATIONS (WEST & EAST)
- A-9 COURT YARD ELEVATIONS (NORTH & SOUTH)

PLUMBING

- P-1 SANITARY RISER DIAGRAM

DETAILS

- D-1 NOTES, SCHEDULES, SYMBOLS & ABBREVIATIONS
- D-2 DETAILS
- D-3 EXTERIOR DETAILS
- D-4 WROUGHT IRON & SITE MASONRY DETAILS

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ARCHITECTS@NYC.BG.COM

GENERAL NOTE:
DO NOT MEASURE THESE DRAWINGS UNLESS OTHERWISE SPECIFIED.
USE ANNOTATED DIMENSIONS ONLY.
VERIFY ALL DIMENSIONS IN FIELD (V.I.F.).
IN CASE OF VARIANCES OR DISCREPANCIES NOTIFY ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF THE WORK.

DATE	DESCRIPTION
06/22/2006	DOB
06/05/2006	DOB
01/31/2006	DOB
ISSUE:	

DRAWN BY: D.A.C. SCALE: AS NOTED
PROJECT No.: DATE:

SHEET NAME:
TITLE SHEET

SHEET No.
A-1

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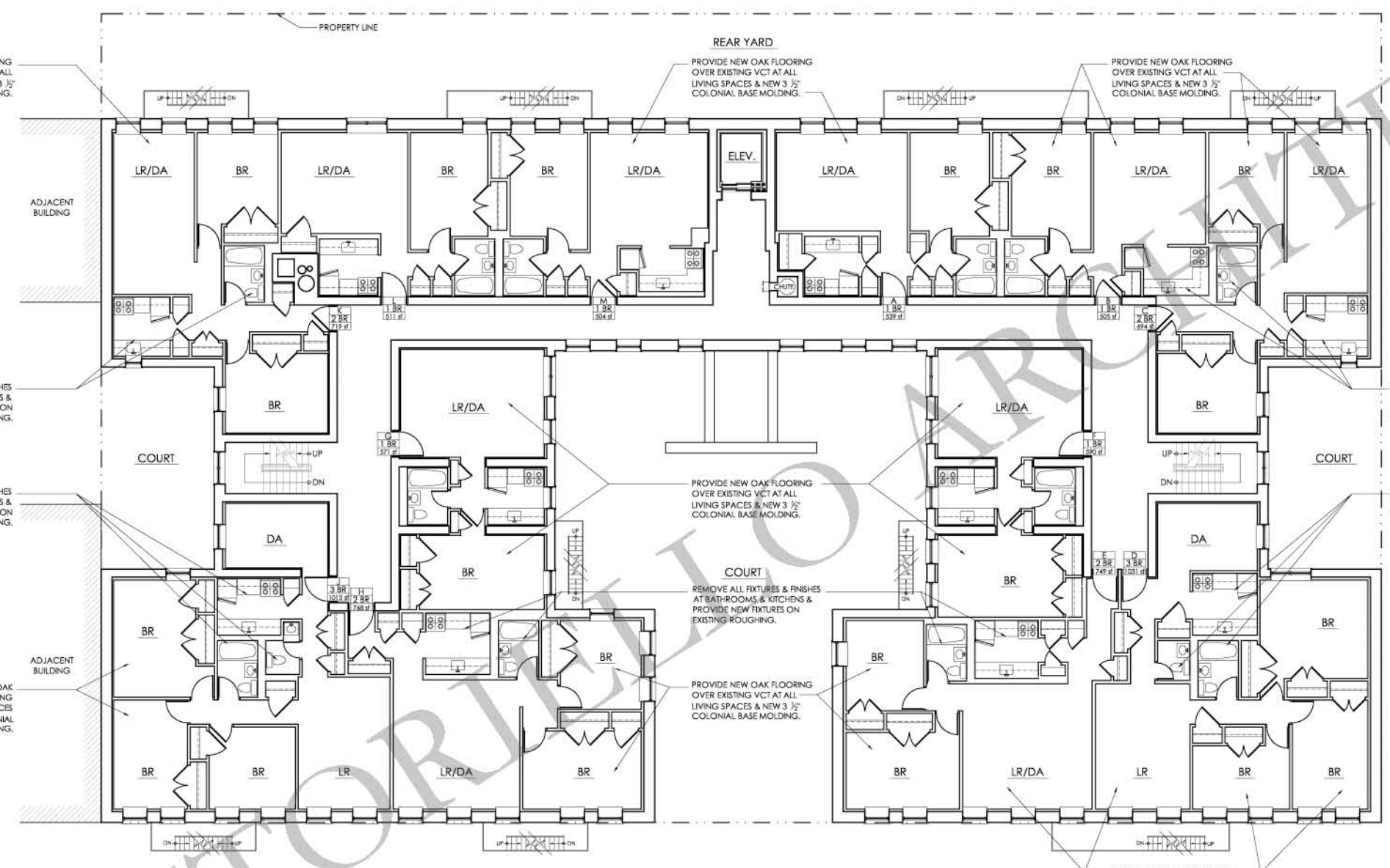
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ISSUE:

DRAWN BY: D.A.C.	SCALE: AS NOTED
PROJECT No.:	DATE:
SHEET NAME: TYPICAL FLOOR (3rd Thru 6th) PLAN	
SHEET No. A-4	



TYPICAL FLOOR
(3rd Thru 6th) PLAN
SCALE: 1/8" = 1'-0"

ALL LAYOUTS ARE EXISTING TO REMAIN.
NO CHANGE TO OCCUPANCY, USE OR EGRESS.
ALL PLUMBING FIXTURES SHOWN SHALL BE
REPLACED WITH NEW IN KIND IN EXISTING
LOCATION. NO CHANGE TO RISERS OR VENTS.



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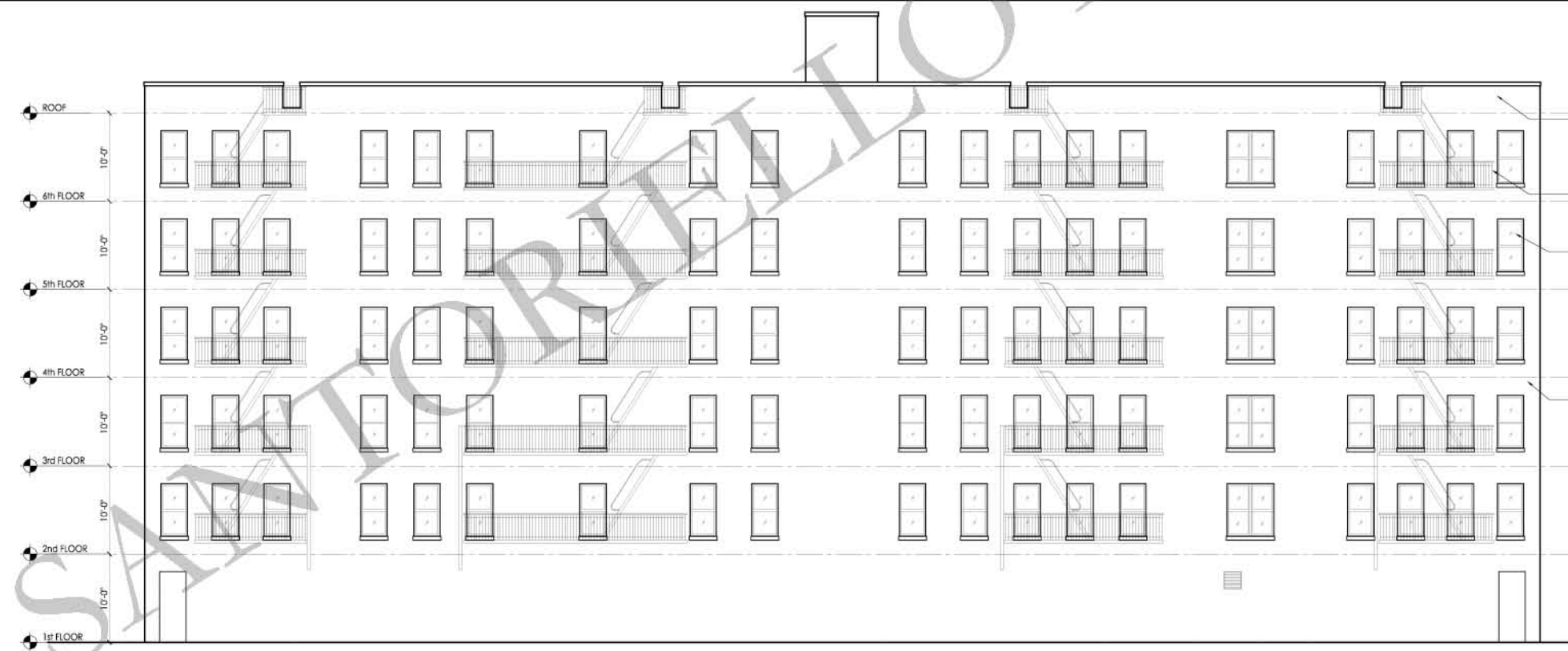
ISSUE:

DRAWN BY: D.A.C.	SCALE: AS NOTED
PROJECT No.:	DATE:
SHEET NAME: FRONT & REAR ELEVATIONS (EAST & WEST)	
SHEET No. A-6	



FRONT ELEVATION (EAST)
SCALE: 1/8" = 1'-0"

- REBUILD ENTIRE STREET AND ENTRANCE COURT PARAPETS WITH 12" SOLID BRICK AND PRE-CAST COPING TO 3'-4" ARL, MATCHING EXISTING IN COLOR, PROFILE AND APPEARANCE.
- REPAIR, SCRAPE DOWN TO BARE METAL AND PRIME AND PAINT ALL FIRE ESCAPES.
- REPLACE ALL WINDOWS AT APARTMENTS, AND OTHER COMMON AREAS, INCLUDING CUSTOM COLOR AT STREET FACADES. PUBLIC HALLWAY WINDOWS SHALL BE REPLACED WITH OPTIMUM STEEL PROJECTING WINDOWS.
- REMOVE PAINT, CEMENT WASH AND GRAFFITI AND PRESSURE WASH AT ALL STREET FACADES.
- GRIND OUT AND POINT AT ALL BRICKWORK AND STONE AND TERRA-COTTA DETAILING AT STREET FACADES.
- REPAIR AND REBUILD ALLOWANCE OF DAMAGED MASONRY ON FACADES.
- REPLACE DEFECTIVE AND DELAMINATING STEEL UNITS AT STREET AND ENTRANCE COURT FACADES, INCLUDING ASSOCIATED BRICK RESTORATION WITH MATCHING BRICK.
- REPLACE DEFECTIVE SILLS AT STREET AND ENTRANCE COURT FACADES WITH NEW PRE-CAST UNITS MATCHING ORIGINAL IN COLOR AND PROFILE.



REAR ELEVATION (WEST)
SCALE: 1/8" = 1'-0"

- REBUILD NON-STREET PARAPETS WITH 12" SOLID BRICK TO 3'-4" ARL AND TERRA-COTTA COPING.
- REPAIR, SCRAPE DOWN TO BARE METAL AND PRIME AND PAINT ALL FIRE ESCAPES.
- REPLACE ALL WINDOWS AT APARTMENTS, AND OTHER COMMON AREAS, INCLUDING CUSTOM COLOR AT STREET FACADES. PUBLIC HALLWAY WINDOWS SHALL BE REPLACED WITH OPTIMUM STEEL PROJECTING WINDOWS.
- GRIND OUT AND POINT AT ALLOWANCE OF NON-STREET ELEVATIONS, PRIMARILY AT UPPER AREAS.
- PROVIDE CEMENT WASH AT NON-STREET ELEVATIONS EQUAL TO THOROLASTIC, SONNEBORN FLEXCOAT OR SIKAFLEX.
- REPAIR AND REBUILD ALLOWANCE OF DAMAGED MASONRY ON FACADES.
- REPLACE DEFECTIVE AND DELAMINATING STEEL UNITS AT NON-STREET FACADES, INCLUDING RESTORATION OF MASONRY.
- REPLACE DEFECTIVE SILLS AT NON-STREET FACADES WITH NEW PRE-CAST CONCRETE UNITS.

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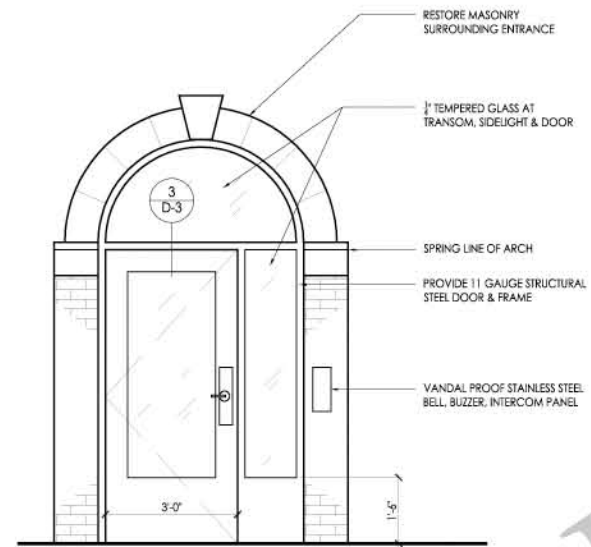
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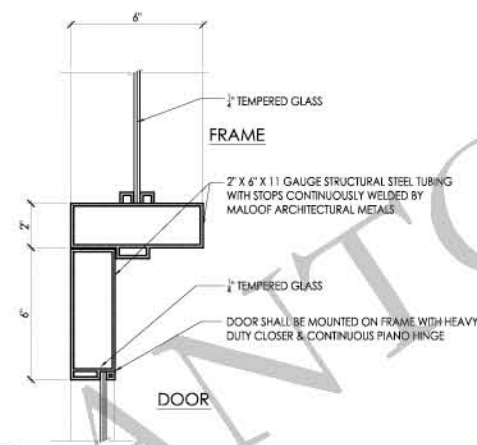
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PROJECT No.:	DATE:
SHEET NAME: EXTERIOR DETAILS	
SHEET No. D-3	



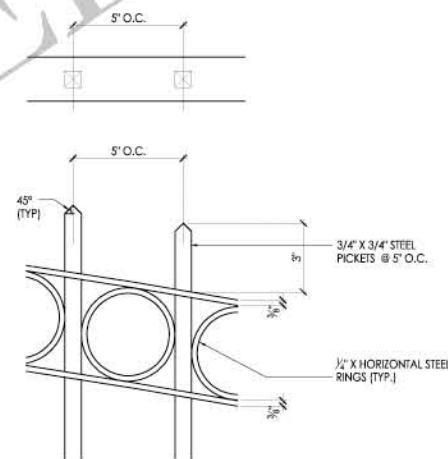
1 TYPICAL BUILDING ENTRANCE
SCALE: 1/2" = 1'-0"



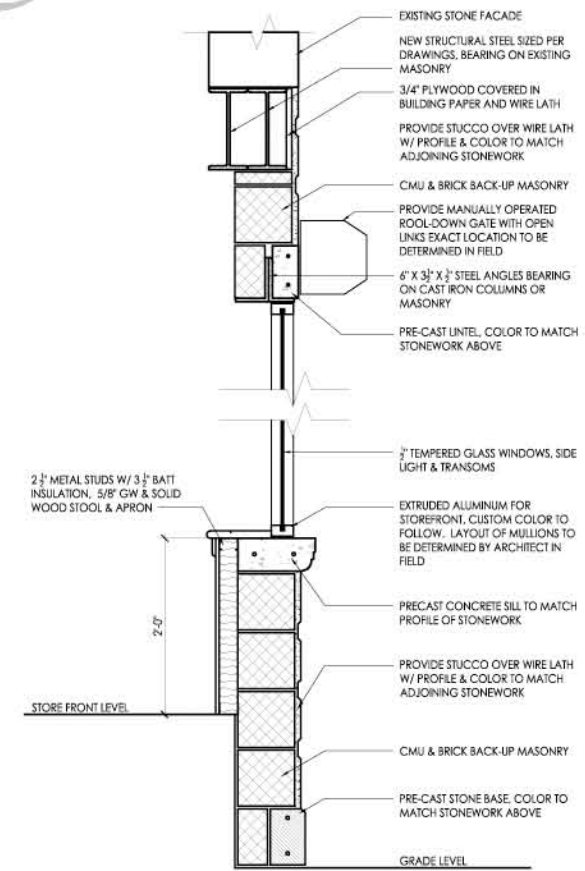
2 TYPICAL BUILDING ENTRANCE
SCALE: 1/2" = 1'-0"



3 ENTRANCE WORK DETAIL
SCALE: 3" = 1'-0"



4 TYPICAL STEEL PICKET DETAIL - TOP
SCALE: 3" = 1'-0"



5 WALL SECTION AT STOREFRONT
SCALE: 1" = 1'-0"